
Case Number	21/00415/FUL (Formerly PP-09473062)
Application Type	Full Planning Application
Proposal	Erection of single-storey side extension including porch to dwellinghouse
Location	40 Haggstones Road Sheffield S35 0GP
Date Received	01/02/2021
Team	West and North
Applicant/Agent	DVS Architecture
Recommendation	Grant Conditionally

Time limit for Commencement of Development

1. The development shall be begun not later than the expiration of three years from the date of this decision.

Reason: In order to comply with the requirements of the Town and Country Planning Act.

Approved/Refused Plan(s)

2. The development must be carried out in complete accordance with the following approved documents:
 - Location Plan, Proposed Site Plan, and Existing and Proposed Floor Plans and Elevations - dwg.no. RE-PL1 Rev B, published 02.03.2021

Reason: In order to define the permission.

Pre Commencement Condition(s) – ('true conditions precedent' – see notes for definition)

Other Pre-Commencement, Pre-Occupancy and other Stage of Development Condition(s)

Other Compliance Conditions

3. The materials to be used externally shall match those of the existing building in colour, shape, size and texture.

Reason: In order to ensure an appropriate quality of development.

Attention is Drawn to the Following Directives:

1. The Local Planning Authority has dealt with the planning application in a positive and proactive manner and sought solutions to problems where necessary in accordance with the requirements of the National Planning Policy Framework.
2. The proposed development lies within an area that has been defined by the Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be submitted alongside any subsequent application for Building Regulations approval (if relevant).

Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant safety and engineering risks and exposes all parties to potential financial liabilities. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should wherever possible be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design is developed and agreed with regulatory bodies which takes into account of all the relevant safety and environmental risk factors, including gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:

www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

Property-specific summary information on past, current and future coal mining activity can be obtained from: www.groundstability.com or a similar service provider.

If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at:

www.gov.uk/government/organisations/the-coal-authority

Site Location



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LOCATION AND PROPOSAL

The subject property is a semi-detached dwelling with a hipped roof located on the south side of Haggstones Road. There are existing two-storey and single storey rear extensions and a single storey porch at the front.

There is a small garden area and hardstanding for parking at the frontage. At the rear of the site is a deep garden with a detached garage set behind the rear elevation of the main dwelling. This rear garden slopes upwards and away from the dwelling in a southerly direction.

The dwelling is set at a higher land level than that of the highway and the neighbouring property at number 38 to the west.

At the rear of the site is an area of open space. The site is located in a Coal Mining Referral Area. The surrounding area is predominantly residential in character. Planning permission is sought for the erection of single-storey side extension including porch to the rear.

Amended plans were received clarifying the footprint of the adjoining neighbour at no.38 and on-site parking arrangements.

PLANNING HISTORY

07/02928/FUL	Two-storey rear extension to dwellinghouse, granted conditionally - 10.09.2007
92/02364/FUL	Single storey extension to dwellinghouse, permitted development - 22.04.1992
79/02552/FUL	Alteration of part of the ground floor to form office accommodation, granted conditionally - 29.11.1979

REPRESENTATIONS

Immediate neighbours were notified, no representations were received.

PLANNING ASSESSMENT

Policy Context

The site is identified on the Unitary Development Plan Proposals Map as being within a Housing Area. This assessment takes account of Policies BE5 and H14 from the Sheffield Unitary Development Plan (UDP) and the provisions of Policy CS74 of the Core Strategy regarding design principles. The Supplementary Planning Guidance (SPG) on Designing House Extensions is also relevant to the determination of this application.

The National Planning Policy Framework (paragraph 127) states that developments need to contribute towards creating visually attractive, distinctive places to live, work

and visit, whilst also being sympathetic to local character. Innovation should not be prevented but developments should add to the quality of an area whilst providing a high standard of amenity for existing and future users. This assessment will have due regard to this overarching principle.

It is considered that the development plan policies being relied upon in making this recommendation below remain in accordance with the National Planning Policy Framework and can be offered substantial weight.

Design

Guidelines 1 to 3 of the Supplementary Planning Guidance on Designing House Extensions state that development must be compatible with the character and built form of the area; development should not detract from the host dwelling or from the general appearance of the street or locality; and extensions should be built of matching materials and features.

The proposed single storey extension would be set back from the principal elevation of the main dwellinghouse with a mono-pitch roof. It would measure approximately 6.3m in depth, 2m in width, 3.28m from ground to eaves level, and 4.1m from ground to ridge height. It would be subordinate to the main dwellinghouse and compatible with the character and built form of the area.

The extension would be visible from the streetscene but it would not detract from the host dwelling or from the general appearance of the street or locality.

Elevation and roof materials would match those of the existing dwellinghouse.

The proposal is considered to be acceptable in design terms and in accordance with the policies set down above.

Impact on Neighbours

Guidelines 4 to 6 of the Supplementary Planning Guidance on Designing House Extensions state that development should not lead to an overdevelopment of house plots or leave little garden space; they should ensure that minimum levels of privacy are maintained; and not lead to unreasonable over-shadowing or overdominance of neighbouring dwellings.

The dwelling would retain ample amenity space following construction of the proposed extension and does not constitute an overdevelopment of the plot.

There would be no side-facing windows to the extension, only 2 rooflights and a rear door, and there are no windows in the side elevation of the neighbouring property. The development therefore protects and maintains minimum levels of privacy and there would be no unreasonable overshadowing or over-dominance of neighbouring dwellings and no serious reductions in the light and outlook of the dwelling to be extended.

It is considered that the proposal does not raise any amenity issues and complies with

the relevant UDP policies and SPG guidance on Designing House Extension.

Highways

Guideline 8 of the Supplementary Planning Guidance states that developments should not lead to highway safety issues and should provide adequate parking arrangements. The proposed extension will form a utility room and porch only and does not propose any increase in bedroom provision. As existing off-street parking to the front of the site will be retained, the development would not adversely affect highway safety.

Other Issues

The property is located within an area defined as a Coal Authority Development High Risk Area. A standard directive will advise the applicant that this be considered as part of a subsequent Building Regulations application.

CONCLUSION AND RECOMMENDATION

It is considered that the proposed single storey side extension is well designed, in scale and character with the host dwelling and the wider streetscene and it will not lead to adverse impacts on adjoining properties. As such it is considered that the proposed development accords with UDP Policies H14 and BE5, as well as Policy CS74 of the Core Strategy; Paragraph 127 of the NPPF, and the Council's SPG on Designing House Extensions.

It is recommended that planning permission be granted subject to the proposed conditions.

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